

SQUARE FOOTAGE

FIRST FLOOR	2022 SQ. FT.
TOTAL HEATED	2022 SQ. FT.
FUTURE Bonus ROOM	811 SQ. FT.
SCREEN PORCH	108 SQ. FT.
COVERED PORCH	158 SQ. FT.
ENTRY PORCH	131 SQ. FT.
GRASS	832 SQ. FT.
TOTAL L&S ROOF	3469 SQ. FT.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 2012 IBC, INTERNATIONAL RESIDENTIAL CODE (IRC), GEORGIA AMENDMENTS & INTERNATIONAL CODE COALITION (ICC) STANDARDS FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS.
2. PROVIDE (2) BARRIERS WITH 50% MINIMUM STIFF AT ALL RAFTERS.
3. ALL FINISHES SHALL CONFORM TO LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE STANDARD FINISHES CODE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL OR PRIVATE UTILITY COMPANIES FOR ANY WORK FOR RELOCATION OF, OR CONNECTION TO EXISTING UTILITIES.
5. MECHANICAL SYSTEM EXITS SHALL BE COORDINATED WITH FRAMING CONTRACTOR.
6. ■ ■ ■ DENOTES SOLID BLOCKING IN WALL.
7. THE TOP JAMB OF EXTERIOR DOORS AND WINDOWS IS TO BE AT THE SAME HEIGHT ABOVE THE FINISH FLOOR UNLESS NOTED OTHERWISE.
8. FIRST FLOOR EXTERIOR WALLS ARE 2 X 4 @ 16" O.C. EXCEPT WHERE NOTED. FIRST FLOOR INTERIOR WALLS ARE 2 X 4 @ 16" O.C. EXCEPT WHERE NOTED.
10. ALL EXTERIOR DOORS/WINDOWS TO BE A MINIMUM OF O.P. RATING OF 45. ALL EXTERIOR OPENINGS SHALL BE PROTECTED WITH ENERGY EFFICIENT APPROVED COVERINGS THAT COMPLY WITH U.S. 400 IMPACT FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS. IMPACT RESISTANT IMPACT GLASS REQUIRED ON EXTERIOR DOORS/WINDOWS NOT COVERED WITH OPERABLE SHUTTERS OR REMOVABLE PANELS. REMOVABLE HEAD STRUCTURAL PANELS MUST BE PROVIDED FOR EACH OPENING. PANELS SHALL HAVE A MINIMUM THROUGH OF 7/8" AND A MAX. SPAN OF 8 FEET. PANELS MUST BE PROTECTED BY THE ATTACHMENT HARDWARE PROVIDED AND INSURED SO THAT A HOMEOWNER WILL BE ABLE TO IDENTIFY THE PROPER LOCATION FOR EACH PANEL. ALL EXTERIOR GLASS DOORS/WINDOWS WITHIN 4'-0" OF A CORNER OF THE BUILDING SHALL MEET A MINIMUM DESIGN PRESSURE OF 0.40, BOTH POSITIVE AND NEGATIVE. DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH PERSONAL DOOR OR WINDOW AT THE FRAMING INSPECTOR. DET 8205 ARE NORMAL DIMENSIONS. VERIFY R.O. WITH MANUFACTURER.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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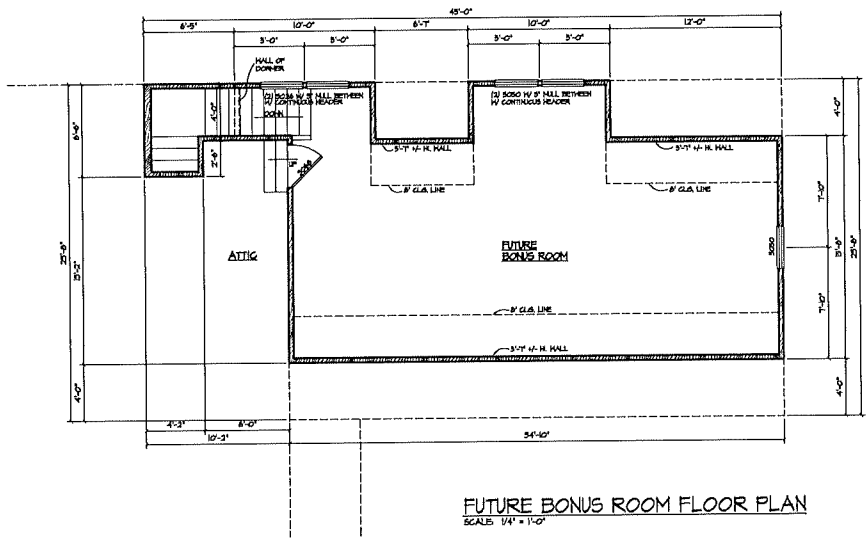
DESIGNED BY: J.G.D.
 DRAWN BY: J.G.D.
 CHECKED BY: J.G.D.
 DATE: 2/27/14

SHEET NO. FP1 OF 1

DIMENSIONS 57'-6 1/2"

STRUCTURAL

A NEW RESIDENCE FOR
 MR. & MRS. BILL TANENBAUM
 LOT 12 "SPARTANA WAY" "COLONEL'S ISLAND"
 LIBERTY COUNTY, GEORGIA



FUTURE BONUS ROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

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A NEW RESIDENCE FOR MR. & MRS. BILL TANENBAUM
LOT # 12 - SPARTINA WAY - "COLONEL'S ISLAND"
LIBERTY COUNTY, GEORGIA

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DESIGNED BY: J.S.G.
DRAWN BY: J.S.G.
CHECKED BY: J.S.G.
DATE: 2/27/14

REVISIONS
STRUCTURAL

SHEET NO.
FP2
OF

SOME SCALE DEDUCE DIMENSIONS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWING. VERIFY ALL DIMENSIONS, FINISHES, PARTS, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE OMITTED, INCOMPLETE OR NOT CLEAR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.