

SQUARE FOOTAGE

FIRST FLOOR	3028 SQ. FT.
SECOND FLOOR	1487 SQ. FT.
LOWER BATTY	133 SQ. FT.
GUEST BATH	777 SQ. FT.
TOTAL HEATED	5533 SQ. FT.
COVERED PORCH	200 SQ. FT.
SCREENED PORCH	148 SQ. FT.
ENTRY PORCH	600 SQ. FT.
GARAGE (FOOTING LEVEL)	1307 SQ. FT.
3 CAR GARAGE	1134 SQ. FT.
BRICK PAV.	105 SQ. FT.
OPEN SPA DECK	105 SQ. FT.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DESIGNED BY: J.B.G. DRAWN BY: J.B.G. CHECKED BY: J.B.G. DATE: 9/27/16

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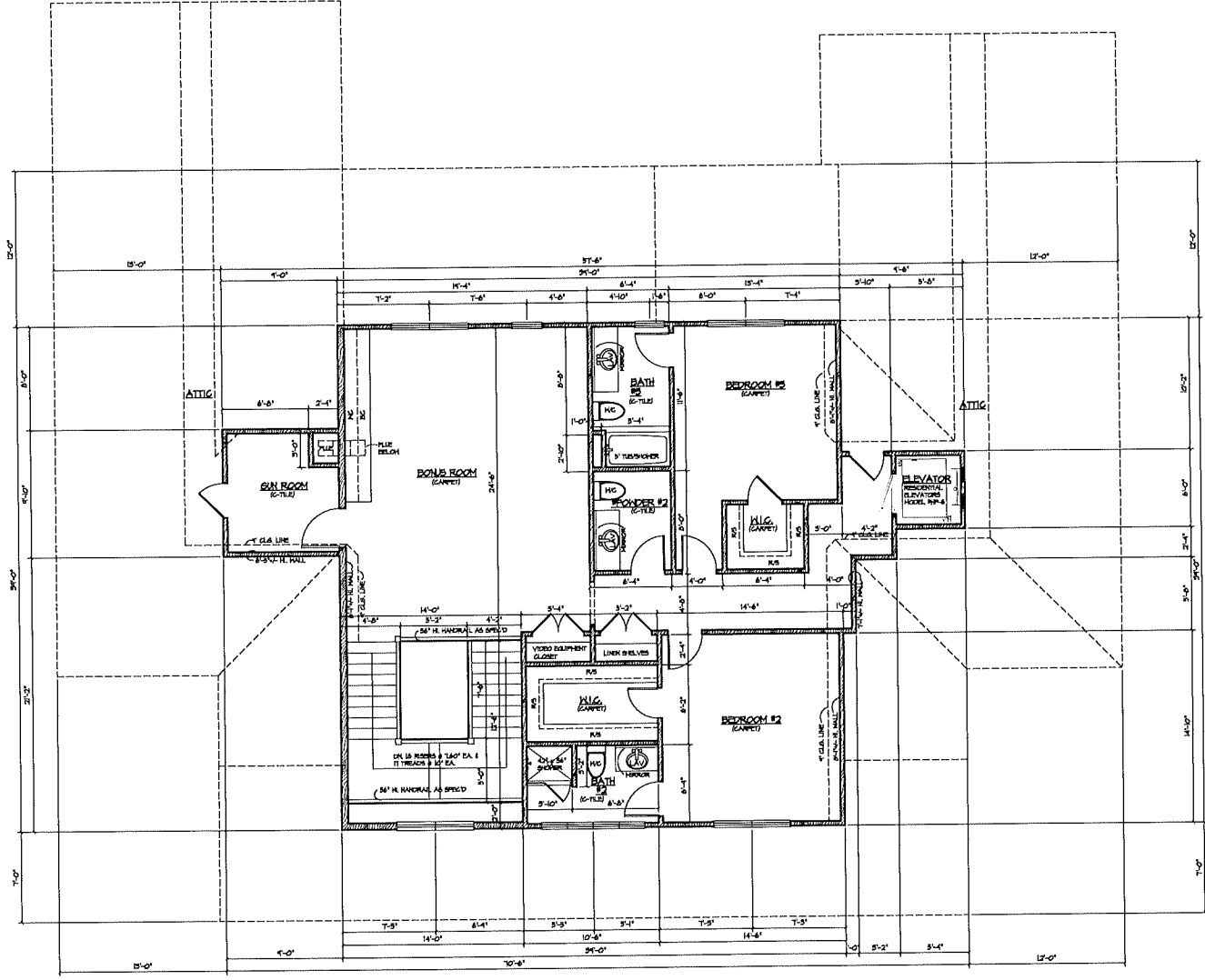
DESIGNED BY: J.B.G. DRAWN BY: J.B.G. CHECKED BY: J.B.G. DATE: 9/27/16

GEL RESIDENTIAL DESIGNS, INC.
 105 W. HUNTERS DRIVE SUITE 205, RICHMOND HILL, GA 31324
 (817) 726-6751
 WWW.GELRESIDENTIALDESIGNS.COM

A NEW RESIDENCE FOR
MR. & MRS. GARY STANBERRY
 41.13 AC. FT. McALLISTER ROAD
 BRYAN COUNTY, GEORGIA 31324

SHEET NO. **FP1** OF 14
 REVISIONS: 6/25/16
 STRUCTURAL

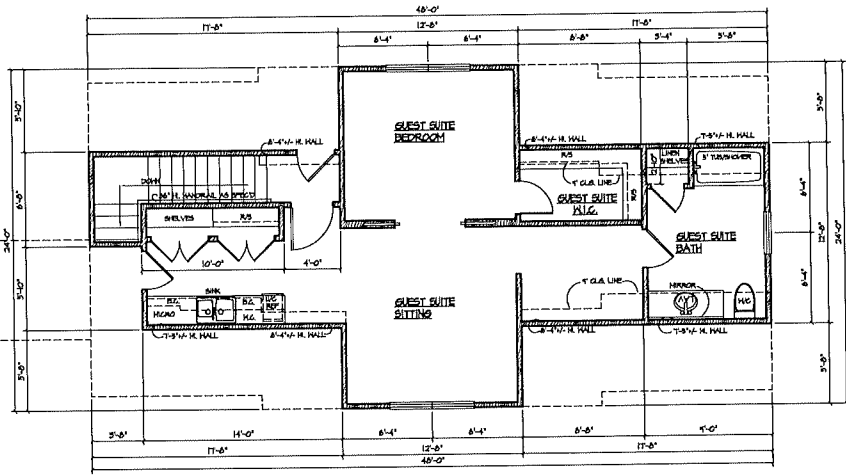
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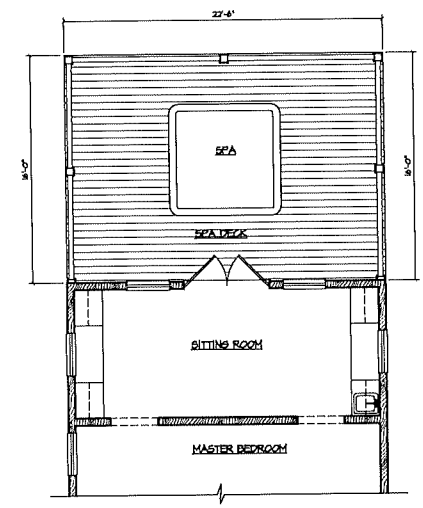
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLEASE ONLY PRINT DIMENSIONS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWINGS. VERIFY ALL DIMENSIONS, FINISHES, FITTINGS, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE DIFFER, INDICATE. DO NOT CLEAR THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.

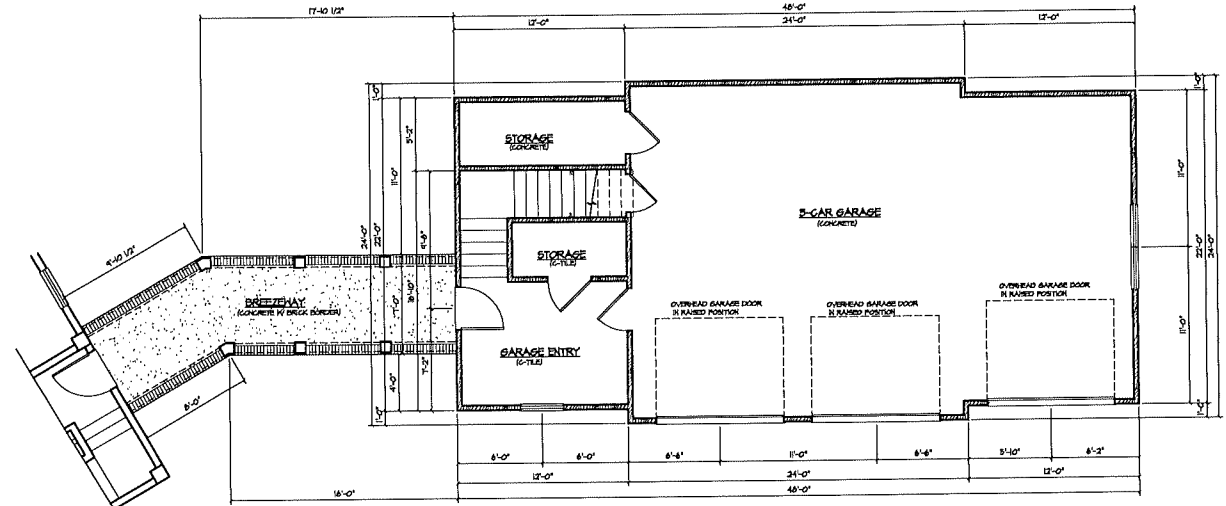
ALL BID	G&L RESIDENTIAL DESIGNS, INC. 150 THUNDERBIRD DRIVE SUITE 303, RICHMOND HILL, GA 31324 (812) 756-9751 WWW.G&LDESIGNS.COM		DESIGNED BY: J.B.P.	DRAWN BY: J.B.P.	CHECKED BY: J.B.P.	DATE: 5/27/16
	A NEW RESIDENCE FOR MR. & MRS. GARY STANBERRY 4.13 AC. * FT. McALLISTER ROAD BRYAN COUNTY, GEORGIA 31524		STRUCTURAL 5/23/16	REVISIONS 5/23/16	SHEET NO. FP2 OF 14	



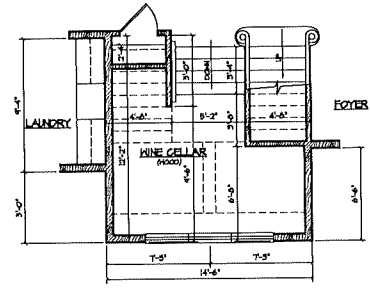
GUEST SUITE FLOOR PLAN
SCALE: 1/4" = 1'-0"



SPA DECK FLOOR PLAN
SCALE: 1/4" = 1'-0"



FREE-STANDING GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



WINE CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 2003 IBC, INTERNATIONAL RESIDENTIAL CODE WITH GEORGIA AMENDMENTS & INTERNATIONAL CODE BOOK, IN ADDITION TO THE INTERNATIONAL CODE BOOK, IN ADDITION TO THE INTERNATIONAL CODE BOOK, IN ADDITION TO THE INTERNATIONAL CODE BOOK.
 - PROVIDE (1) SLOTTED NYTRON HUNGARE STRAP AT ALL BATTERS.
 - ALL PLUMBING WORK SHALL COMPLY TO LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE STANDARD PLUMBING CODE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL OR PRIVATE UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO EXISTING UTILITIES.
 - MECHANICAL SYSTEM DUCTS SHALL BE COORDINATED WITH PRIME CONTRACTOR.
 - = DENOTES SOLID BLOCKS IN WALL.
 - THE TOP JAMB OF EXTERIOR DOORS AND WINDOWS TO BE AT THE SAME HEIGHT ABOVE THE FINISH FLOOR UNLESS NOTED OTHER WISE.
 - FIRST FLOOR EXTERIOR WALLS ARE 2 X 8 @ 16" O.C. EXCEPT WHERE NOTED. FIRST FLOOR INTERIOR WALLS ARE 2 X 4 @ 16" O.C. EXCEPT WHERE NOTED. SECOND FLOOR INTERIOR WALLS ARE 2 X 4 @ 16" O.C. EXCEPT WHERE NOTED.

COMPANY: G&L RESIDENTIAL DESIGNS, INC. 185 GLE BEAUMONT BLVD. SUITE 100 RICHMOND HILL, GA 31324
 PHONE: (770) 796-0251 WWW.G&LRESIDENTIALDESIGNS.COM
 DESIGNER: J.B.S. CHECKED BY: J.B.S. DATE: 5/2/16
 DRAWN BY: J.B.S.
 STRUCTURAL REVISIONS: 6/23/16
 SHEET NO. FP3 OF 14

A NEW RESIDENCE FOR
MR. & MRS. GARY STANBERRY
 41.9 AC. * FT. McALLISTER ROAD
 BRYAN COUNTY, GEORGIA 31524

ALL BID
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