

REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-C
SCALE: 1/4" = 1'-0"

DO NOT SCALE THE DRAWINGS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWINGS. VERIFY ALL DIMENSIONS, FINISHES, FIXTURES, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE OMITTED, INCORRECT, OR NOT CLEAR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.

SHEET NO. **EL1**
OF

REVISIONS
1/2/23
1/8/23

STRUCTURAL

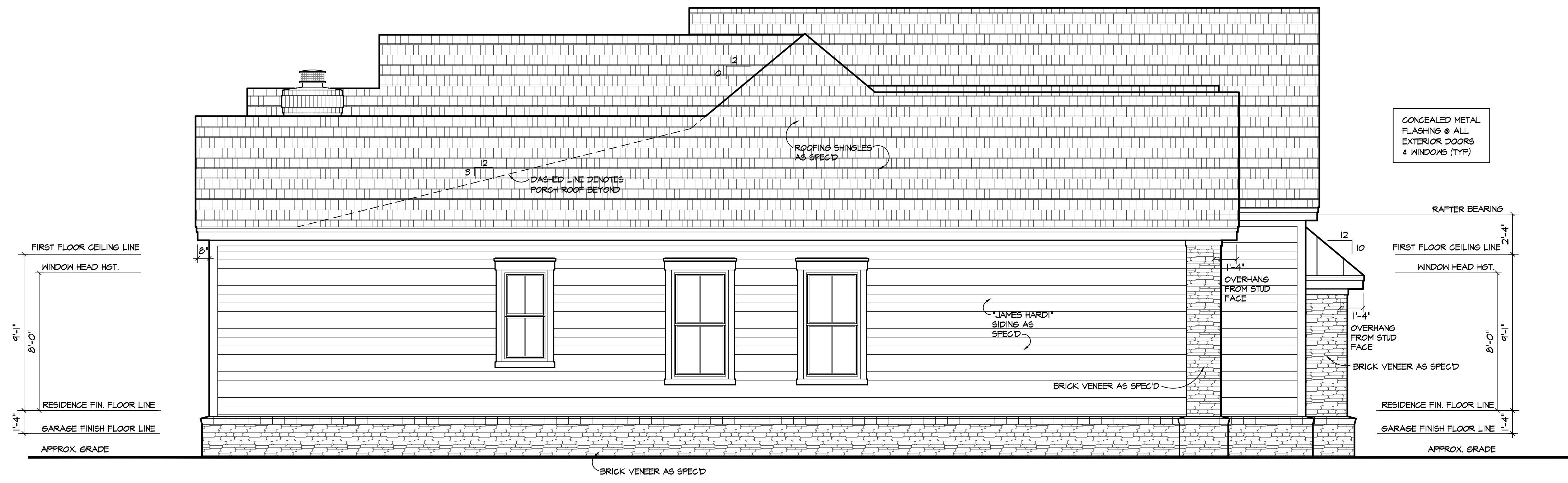
JOANN GREEN DESIGNS, LLC.
901 WOODSIDE XING, SAVANNAH, GEORGIA 31405
(912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY: **J.B.G.**
DRAWN BY: **J.B.G.**
CHECKED BY: **J.B.G.**
DATE: **12/15/21**

A NEW RESIDENCE FOR
MR. & MRS. JAMES LEGGE
LOT # 3 * KILKENNY ROAD * SOUTHERN PARK SUBD. *
BRYAN COUNTY, GEORGIA



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LEFTSIDE ELEVATION
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RIGHTSIDE ELEVATION
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STRUCTURAL

REVISIONS
2/2/23
1/6/23

SHEET NO.
EL2
OF



SQUARE FOOTAGE

FIRST FLOOR	3059 SQ. FT.
BONUS ROOM / BATH #4	592 SQ. FT.
TOTAL HEATED	3651 SQ. FT.
SCREEN PORCH	503 SQ. FT.
ENTRY PORCH	301 SQ. FT.
GARAGE	898 SQ. FT.
TOTAL UNDER ROOF	5343 SQ. FT.

SHEET NO.
FP1
OF

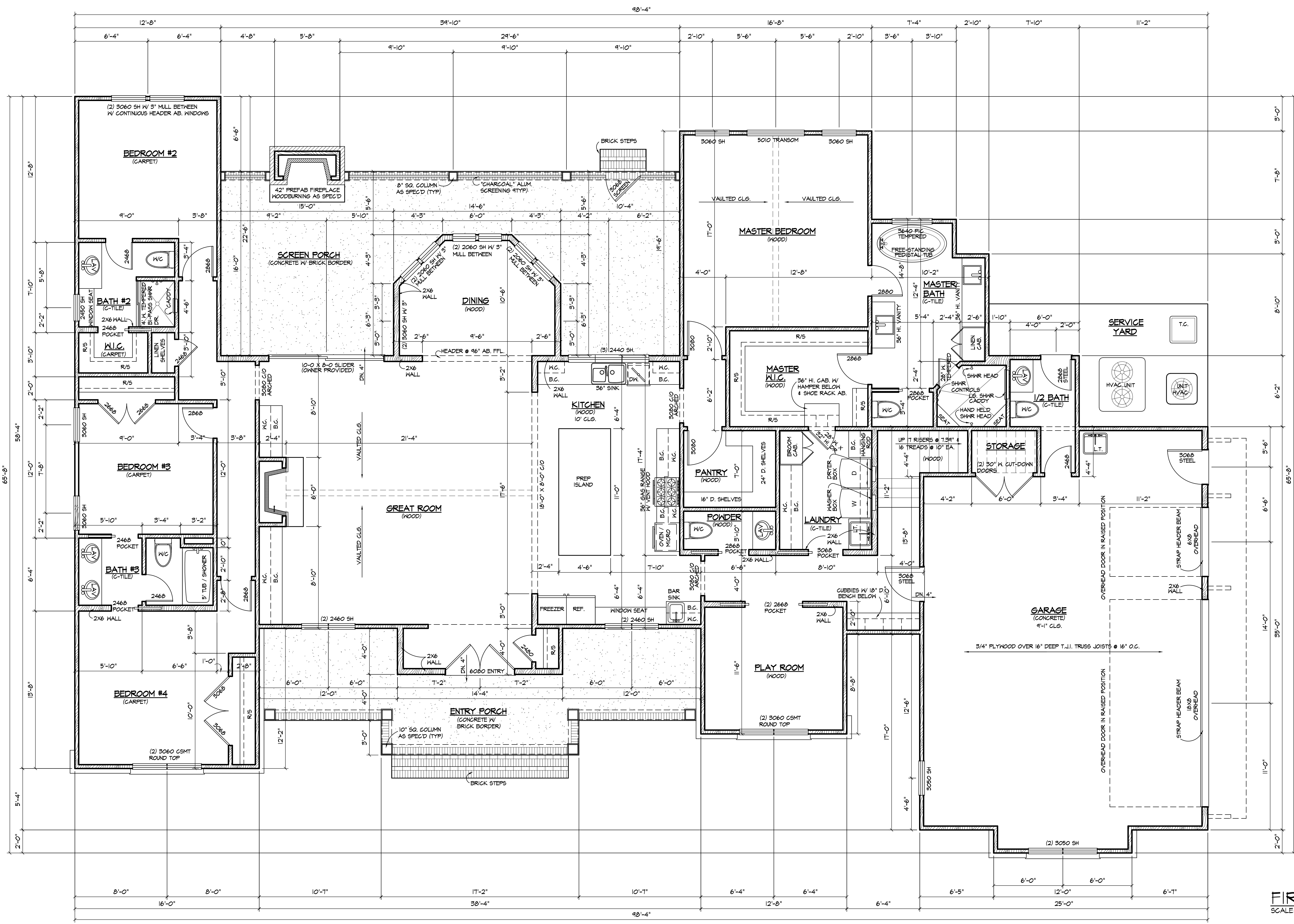
REVISIONS
7/31/23
1/16/23

STRUCTURAL

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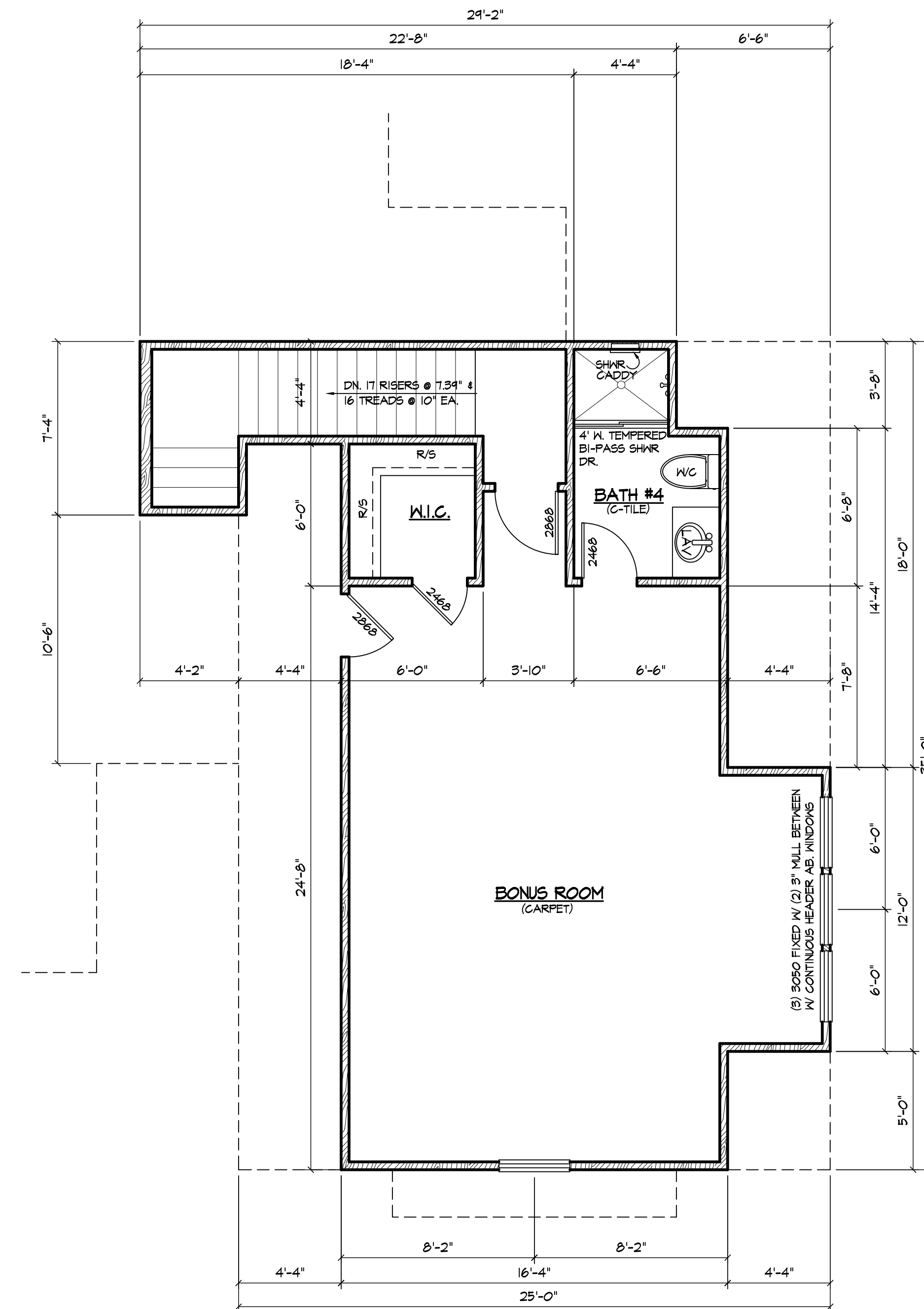
FIRST FLOOR PLAN
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GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 2018 I.R.C. (INTERNATIONAL RESIDENTIAL CODE) WITH GEORGIA AMENDMENTS & INTERNATIONAL CODE COUNCIL (ICC600) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS.
- PROVIDE (1) SIMPSON #H2.5 HURRICANE CLIP AT ALL RAFTERS.
- ALL PLUMBING WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE STANDARD PLUMBING CODE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL OR PRIVATE UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO EXISTING UTILITIES.
- MECHANICAL SYSTEM DUCTS SHALL BE COORDINATED WITH FRAMING CONTRACTOR.
- = DENOTES SOLID BLOCKING IN WALL
- HOLD-DOWNS:
 - DENOTES: SIMPSON # HTTH GALV. METAL HOLD-DOWN OR EQUAL. LOCATE HOLD-DOWN AS PER PLAN LOCATION. ATTACH IN STRICT COMPLIANCE W/ MANUFACTURER SPECIFICATIONS. SEE DETAIL T-52.
 - DENOTES: PROVIDE HOLD-DOWNS @ ALL EXTERIOR COLUMNS TOP & BOTTOM.
- THE TOP JAMB OF EXTERIOR DOORS AND WINDOWS TO BE AT THE SAME HEIGHT ABOVE THE FINISH FLOOR UNLESS NOTED OTHER WISE.
- FIRST FLOOR EXTERIOR WALLS ARE 2 X 6 @ 16" O.C. EXCEPT WHERE NOTED. FIRST FLOOR INTERIOR WALLS ARE 2 X 4 @ 16" O.C. EXCEPT WHERE NOTED. SECOND FLOOR INTERIOR WALLS ARE 2 X 4 @ 16" O.C. EXCEPT WHERE NOTED.
- ALL EXTERIOR DOORS/WINDOWS TO BE A MINIMUM OF D.P. RATING OF 40. ALL EXTERIOR OPENINGS SHALL BE PROTECTED WITH BRYAN COUNTY APPROVED COVERINGS THAT COMPLY WITH ICG-600 IMPACT FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS IMPACT REQUIREMENT. IMPACT GLASS REQUIRED ON EXTERIOR DOORS/ WINDOWS NOT COVERED WITH OPERABLE SHUTTERS OR REMOVABLE PANELS. REMOVABLE HOOD STRUCTURAL PANELS MUST BE PROVIDED FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 1/2" AND A MAX. SPAN OF 8 FEET. PANELS MUST BE PRECUT TO SIZE WITH ATTACHMENT HARDWARE PROVIDED AND NUMBERED SO THAT A HOMEOWNER WILL BE ABLE TO IDENTIFY THE PROPER LOCATION FOR EACH PANEL. ALL EXTERIOR GLASS DOORS/WINDOWS WITHIN 4'-0" OF A CORNER OF THE BUILDING SHALL MEET A MINIMUM DESIGN PRESSURE OF DP40, BOTH POSITIVE AND NEGATIVE. DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR, OR SKYLIGHT AT THE FRAMING INSPECTION. UNIT SIZES ARE NOMINAL DIMENSIONS. VERIFY R.O. WITH MANUFACTURER.



BONUS ROOM FLOOR PLAN
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